

# Catharine Township Municipality

1229 Recreation Drive, Williamsburg, PA 16693  
Email: [catharinetownship@yahoo.com](mailto:catharinetownship@yahoo.com)

Phone: 814.832.3851  
Website: [catharinetownship.org](http://catharinetownship.org)

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Required checklist to obtain a building permit for:

## NEW FAMILY DWELLING

- Complete 2 page Application for Building Permit/Use Certificate
- Land Use Permit (signed and approved by Municipality).
- Building Plans (floor plan, elevation, footer, foundation, framing, etc.)
- Site plans (include all existing structures, proposed structure and their distances to all lot lines)
- Deck Plans if applicable
- PA Residential Energy Provisions Worksheet
- Worker's Compensation Insurance Coverage Information Form
- Driving instructions

Driveway Occupancy Permit Needed

State Road – Permit from PennDot

Township Road – Permit from Township

Township setbacks must be followed

CCIS will issue building permit

- ⇒ After submitting all required documents your application will be reviewed.
- ⇒ CCIS will contact you to let you know if your application has been approved or denied (if applicable).
- ⇒ When the project is approved you will be notified the Building Permit is ready. Prior to obtaining the building permit all charges (i.e. municipality, administrative, inspection fees...) must be paid.
- ⇒ Be advised additional fees may be applied throughout the project for failed or missed inspections.

# APPLICATION FOR BUILDING PERMIT / USE CERTIFICATE

Permit Number: \_\_\_\_\_

## Property / Site Information

Site Address: \_\_\_\_\_  
Complete address/City/State/Zip

Municipality: \_\_\_\_\_ County: \_\_\_\_\_ Tax Map #: \_\_\_\_\_

Use:  Residential \_\_\_ Single-Family dwelling \_\_\_ Multi-Family \_\_\_ New \_\_\_ Manufactured/Modular Home

Commercial \_\_\_ Other \_\_\_\_\_ Floodplain present:  Yes  No

Improvement Type:  New  Addition  Alteration  Repair/replacement  Relocation

Other \_\_\_\_\_

## Land / Property Owner's Information

First Name \_\_\_\_\_ Mi. \_\_\_\_\_ Last Name \_\_\_\_\_ Phone# \_\_\_\_\_ Cell# \_\_\_\_\_

Street Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Email \_\_\_\_\_

## Building Permit Application

Provide a description of work below: *(Also provide details on plot plan: Show all improvements on lot & approximate distances to lot lines)*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Estimated Cost of Construction \$ \_\_\_\_\_

Estimated start date \_\_\_\_\_ Estimated completion date \_\_\_\_\_

## Contractor Information

Name of Contractor: \_\_\_\_\_ Phone# \_\_\_\_\_

Person in charge of work: \_\_\_\_\_ Phone# \_\_\_\_\_

Address of Contractor \_\_\_\_\_  
Address/City/State/Zip

Proof of Worker's Compensation Insurance:  Provided  Exempt

**Subcontractor Information**

Name \_\_\_\_\_ Address/City/State/Zip \_\_\_\_\_ Phone# \_\_\_\_\_

Name \_\_\_\_\_ Address/City/State/Zip \_\_\_\_\_ Phone# \_\_\_\_\_

**Project Details**

Trades:  Building     Electrical Work     Plumbing Work     Mechanical Work (HVAC)

Fire Suppression/Alarm System

Heat Source: \_\_\_\_\_ Fuel Type: \_\_\_\_\_

Foundation Type:  Crawlspace     Foundation     Slab at Grade     Piers     Other \_\_\_\_\_

Details: \_\_\_\_\_

**Certification**

I certify that I am the owner of record, or that I have been authorized by the owner of record to submit this application and that the work described has been authorized by the owner of record. I understand and assume responsibility for the establishment of official property lines for required setbacks prior to the start of construction, and agree to conform to all applicable local, state, and federal laws governing the execution of this project. I certify that the Code Official or his/her representative shall have the authority to enter the areas in which work is being performed, at any reasonable hour, to enforce the provisions of the Codes governing this project. I further certify that this information is true and correct to the best of my knowledge and belief.

Applicant Signature \_\_\_\_\_ Print Name \_\_\_\_\_ Date \_\_\_\_\_

Applicant Phone# (Land line and Cell) \_\_\_\_\_ Email \_\_\_\_\_

Applicant Complete Address/City/State/Zip \_\_\_\_\_

<b>OFFICE USE:</b>	
Application fee	\$ _____
Permit Fee	\$ _____
Inspection Fees	\$ _____
Issuance Date	____/____/____
Expiration Date	____/____/____
Extension Date	____/____/____
APPLICATION STATUS: <input type="checkbox"/> GRANTED <input type="checkbox"/> DENIED	
_____ Signature of Permit Officer	_____ Date
{SEAL}	

## Land Use Permit Checklist

**NOTE TO APPLICANT:** Applicable items on this checklist shall be completed prior to your submission of an application for a building permit. Failure to complete any applicable item on this checklist shall be sufficient grounds for denial of the building permit application. Please contact your local municipal office or the local Commonwealth Code Inspection Service, Inc. office if you have any questions about the process for obtaining a building permit.

Municipality: Catharine Township County: Blair

Land Use Permit #: \_\_\_\_\_ Tax map location: \_\_\_\_\_

Work site address: \_\_\_\_\_

Contact person: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Type of Construction (describe): \_\_\_\_\_

New     Additions     Alteration     Repair/Replacement     Relocation     Other \_\_\_\_\_

Estimated Start Date: \_\_\_\_\_ Estimated Completion Date: \_\_\_\_\_

Estimated cost/value of construction: \$ \_\_\_\_\_

I certify that I am the owner of record, or that I have been authorized by the owner of record to submit this application and that the work described has been authorized by the owner of record, and I agree to conform to all applicable local, state, and federal laws governing the execution of this project. I certify that the Code Official or his representative shall have the authority to enter the areas in which this work is being performed, at any reasonable hour, to enforce the provisions of the Codes governing this project. I understand and assume responsibility for the establishment of official property lines for required setbacks prior to the start of construction, and agree to conform to all applicable laws of this jurisdiction. I further certify that this information is true and correct to the best of my knowledge.

Applicant's signature \_\_\_\_\_ Date \_\_\_\_\_

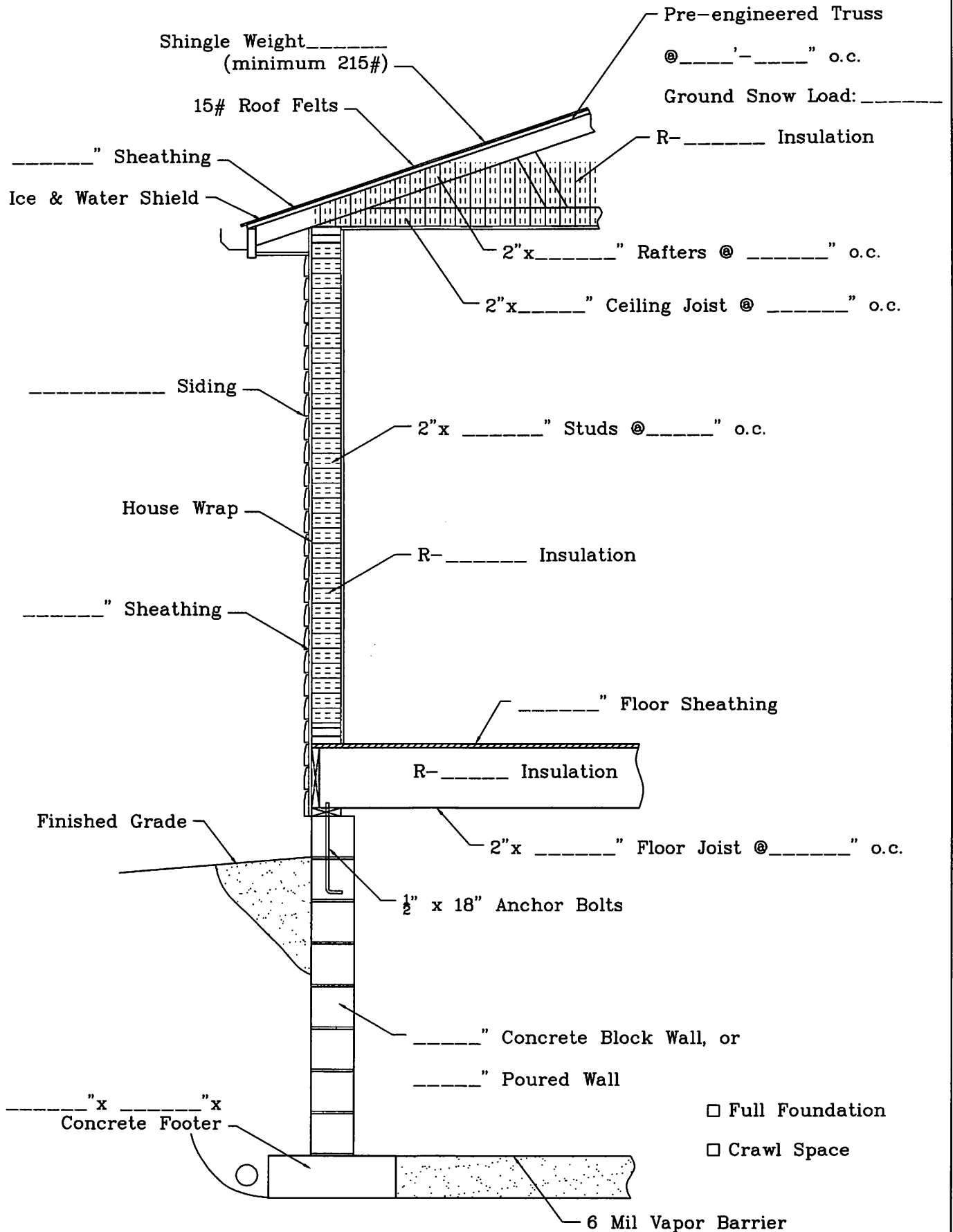
Checklist of preliminary requirements for obtaining a building permit, approvals to be obtained prior to applying for a building permit. All items must be addressed. Mark N/A for those that are not applicable. Attach extra sheets if necessary to identify special requirements or conditions.

- |   | Date of Approval |
|---|------------------|
| <input type="checkbox"/> Sewage facilities planning module, DEP Planning Code # _____                                     | _____            |
| <input type="checkbox"/> Sub-division & Land Development, Municipal Resolution # _____                                    | _____            |
| <input type="checkbox"/> Sewage permit from Sewage Enforcement Officer, Permit # _____                                    | _____            |
| <input type="checkbox"/> Storm water management module. Approved by _____   | _____            |
| <input type="checkbox"/> Conservation District notification per Chapter 102   | _____            |
| <input type="checkbox"/> NPDES Permit # _____ for earth disturbances 1 acre or more                                       | _____            |
| <input type="checkbox"/> Driveway permit, PennDot # _____ or Local # _____  | _____            |
| <input type="checkbox"/> Public water tap, Permit # _____   | _____            |
| <input type="checkbox"/> Public sewage tap, Permit # _____  | _____            |
| <input type="checkbox"/> Historical Architectural Review Board, ____ Check here for special conditions                    | _____            |
| <input type="checkbox"/> Other; slue pipe, road alteration, etc. ____ Check here for special conditions                   | _____            |
| <input type="checkbox"/> Floodplain mapping. Project may contain flood plain, ____  | _____            |
| <input type="checkbox"/> Municipal setback clearances, ____ Check here for special conditions                             | _____            |
| <input type="checkbox"/> Extra pages attached to describe special conditions or circumstance. There are ____ extra pages. | _____            |

Approved-Municipal Official's Signature & title \_\_\_\_\_ Date \_\_\_\_\_

{SEAL}

This signature indicates Municipal verification & approval of the Land Use Project as described along with approval of all items on the Checklist.



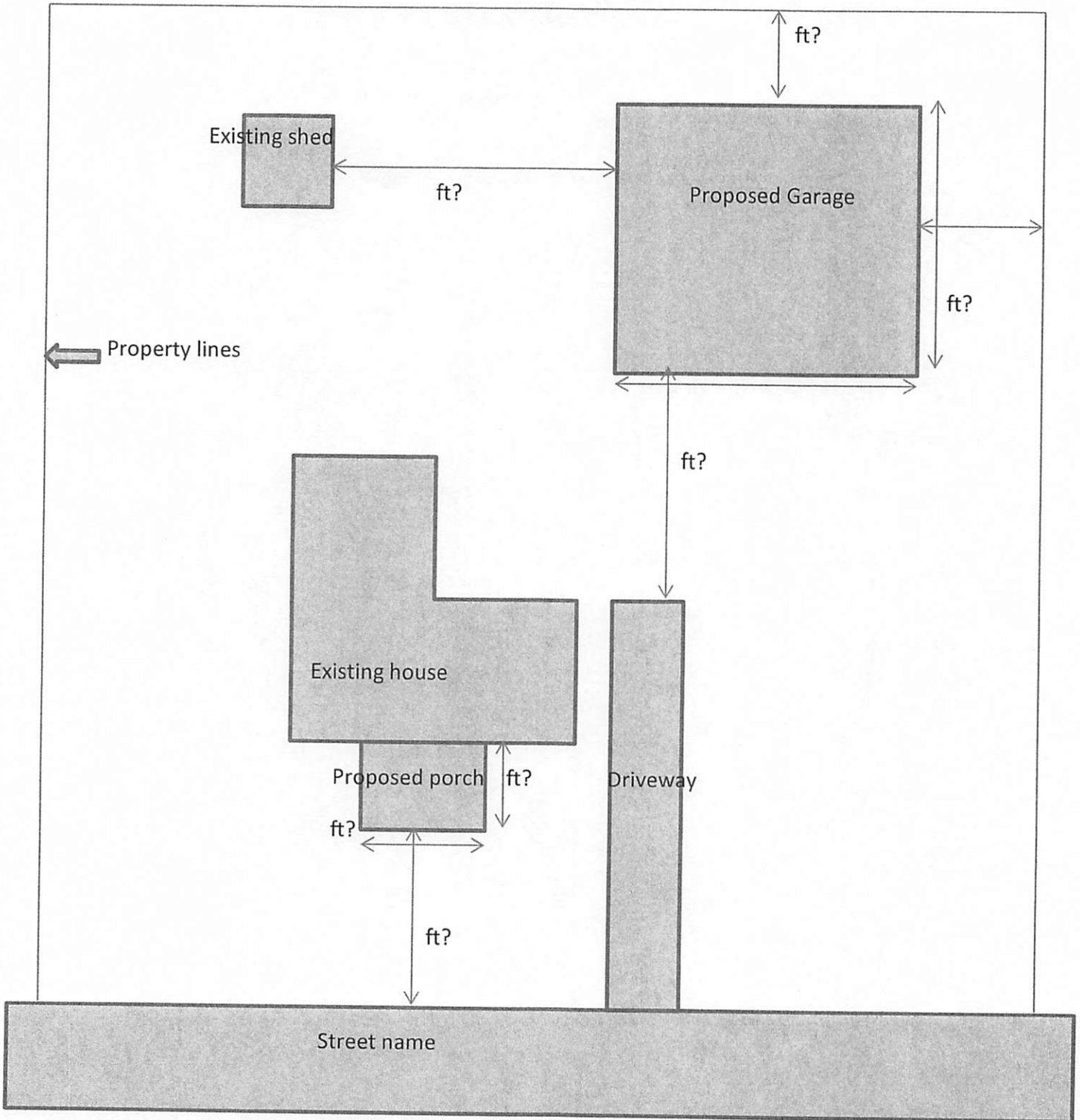
- Full Foundation
- Crawl Space

**TYPICAL WALL SECTION**

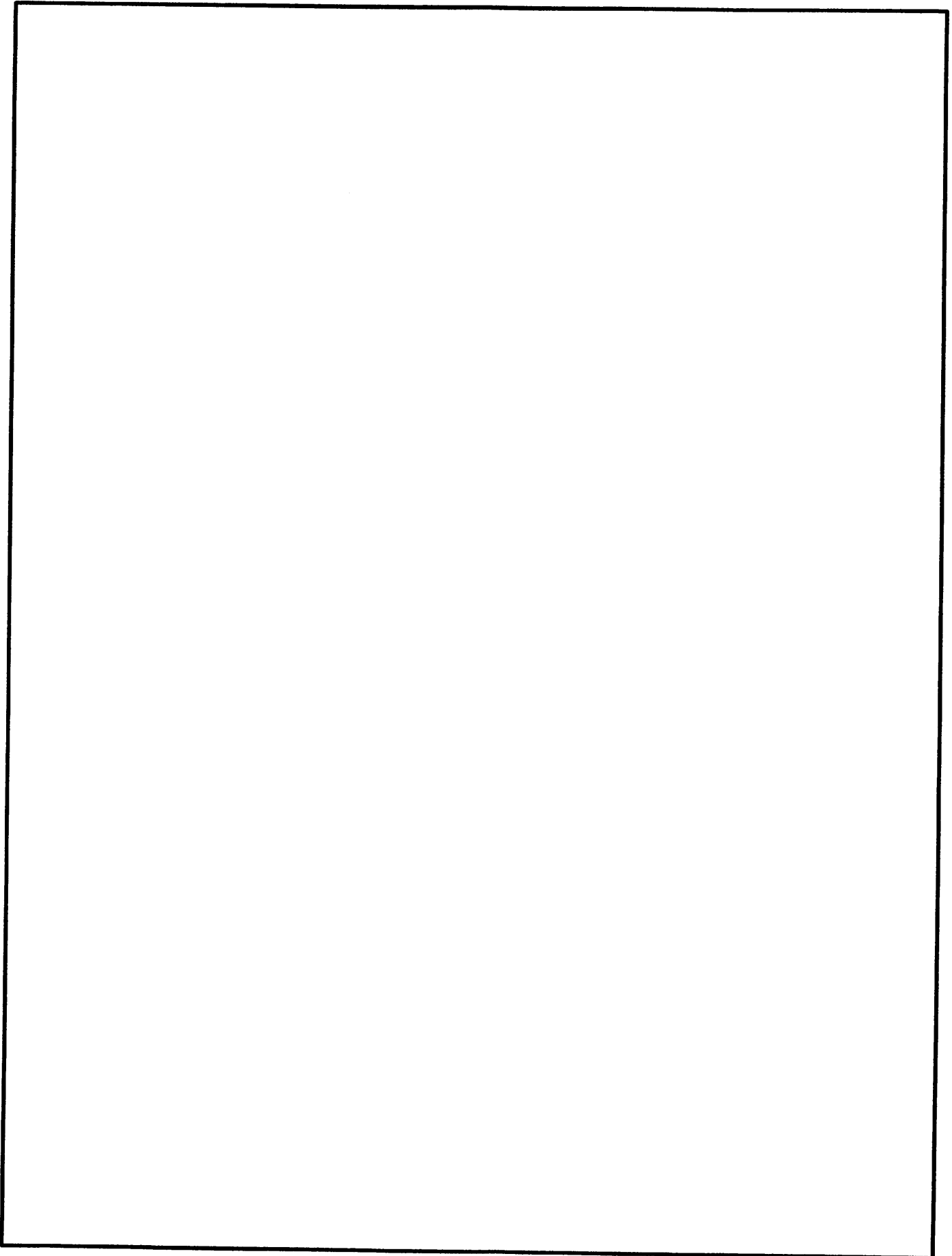
# SITE PLAN

## EXAMPLE

Show any other existing structures on the property (pool, patio, deck, etc.)



**SITE PLAN**



## Pennsylvania Residential Energy Provisions Worksheet

PROJECT Address: \_\_\_\_\_  
 Contractor: \_\_\_\_\_  
 Permit #: \_\_\_\_\_  
 Date: \_\_\_\_\_ Date of Plan: \_\_\_\_\_

TYPE OF DWELLING  One or two family  Townhouse

COMPLIANCE PATH  IECC  IRC  PA- Alternative residential Energy Provisions  
 \_\_\_ REScheck Software  
 \_\_\_ REScheck Package Generator  
 \_\_\_ Other

If using software, How are you documenting compliance?

<u>Thermal Enclosure</u>	IRC	IRC	PA-Alt	PA-Alt
<b>Windows/Doors (U-Value)</b>	Required	Actual	Required	Actual
Windows	U- .35	U-	U- .35	U-
Skylights	U- .60	U-	U- .60	U-
Other	U-	U-	U-	U-
Glazed Doors (>50% glass)	U- .35	U-	U- .35	U-
Opaque Doors (<50% glass)	U- .35	U-	U- .35	U-
<b>Exterior Wall Insulation (R-Value)</b>				
Cavity	R- 19	R-	R- 19	R-
Continuous (Insulated sheathing)	R- 13+5	R-	R- 13+5	R-
<b>Roof (R-Value)</b>				
Standard Truss/rafter	R- 38	R-	R- 38	R-
Raised Heel/Energy Truss	R- 30	R-	R- 30	R--
Cathedral Ceiling	R- 30	R-	R- 30	R-
<b>Floors (R-Value)</b>				
Over Unconditioned Space	R- 30	R-	R- 30	R-
Floors Exposed to Outside Air	R- 30	R-	R- 30	R-
<b>Crawlspace Walls (non-vented)</b>				
Cavity	R- 13	R-	R- 13	R-
Continuous (insulated sheathing)	R- 10	R-	R- 10	R-
<b>Basement Walls-% above ground</b>				
Front %	10/13		10/13	R-
Rear %	R_if<50%			R-
Left Side %	R_if>50%			R-
Right Side %	19		19	R-
<b>Slab Insulation (required if slab is &lt;12" below grade)</b>	R 10@2Ft	R__@__ft	R 10@2Ft	R__@__ft

\*Required for REScheck package + software

Gross Area of Exterior Walls #1 \_\_\_\_\_  
 Gross Area of Windows & Glazed Doors #2 \_\_\_\_\_  
 Window to Wall Area: #2 divided by #1 = \_\_\_\_\_



**Recessed Light Fixtures Type**     ASTM E-283  
 Other \_\_\_\_\_

**Mechanical**

Equipment Efficiency (For PA Alternative Trade-off; ResCheck Performance Alternative)

Furnace \_\_\_\_\_ AFUE

Air Conditioner \_\_\_\_\_ SEER

Heat Pump \_\_\_\_\_ HSPF

Duct Insulation

Location of Duct	Compliance Option			
	IECC		IRC	PA-Alt
	Supply	Return		
Outside of the Building	8	8	8	8
Within Insulated Outside Walls or Floors	8*	8*	8*	8*
Unconditioned Attics	8	8	8	8
Unconditioned Basements	8	8	8	6
Vented Crawlspace and garages	8	8	8	8

Note \* R-6 allowed in Floor Trusses

Pipe Insulation: R-2 (minimum)

Applies to HVAC piping <55 degrees F or >105 degrees F, and Circulating Hot Water Piping

**PA-Alternative Residential Energy Provisions - Trade-offs Section PA 502**

Tradeoff	Component	Reduced R-Value	Minimum Equipment Efficiency (c,d)					
			South		Central		North	
					AFUE(a)	HSPF(b)		
<b>A</b>	Walls Between conditioned and unconditioned spaces (e)	R-13			83	8.3		
	Floors over unconditioned basements	R-19						
<b>B</b>	Duct      Unconditioned basement	R-4			84(g)	9.1		
	Attic & Exterior Walls (f)	R-6			83(g)	9.0(g)		
<b>C</b>	Walls Between conditioned and unconditioned spaces (e)	R-13			89	9.8		
	Floors over unconditioned basements	R-19						
	Duct (g)      Unconditioned basement	R-4						
	Attic & Exterior Walls (f)	R-6						

- a. Annual Fuel Utilization Efficiency (AFUE) applies to oil and gas furnaces and boilers.
- b. Heating Seasonal Performance Factor (HSPF) applies to heat pumps.
- c. Any Seasonal Energy Efficient Ratio (SEER) may be used for air conditioning equipment.
- d. For buildings with multiple furnaces, boilers, or heat pumps having different AFUE or HSPF values, use the capacity weighted average of the efficiency ratings of the installed equipment to determine whether the building complies with the minimum equipment performance requirement.
- e. Examples include, but are not limited to, walls between the house and garage, and basement stairway walls and ceiling when the floor above an unconditioned basement is insulated.
- f. Ducts in exterior walls with insulated sheathing of R-5 or more do not need to be insulated.
- g. If ducts are located in both the attic and unconditioned basement, R-6 can be used for the attic ducts and R-4 can be used for the unconditioned basement ducts.

**Worker's Compensation Insurance Coverage Information**

**A. The applicant** is a contractor within the meaning of Pennsylvania Workers' Compensation Law.  
 YES     NO

If the answer is YES, complete Section B. If there is an exemption, then complete Section C below.  
If the answer is NO, complete Section C below.

**B. Insurance Information:**

Name of Applicant: \_\_\_\_\_

Federal or State Employer Identification No. \_\_\_\_\_

Applicant is a qualified self-insurer for Workers' Compensation

Original Certificate attached

Name of Workers' Compensation insurer \_\_\_\_\_

Workers' Compensation Insurance Policy No. \_\_\_\_\_

Original Certificate attached

Policy Expiration Date \_\_\_\_\_

**C. Exemption: MUST BE NOTORIZED**

Complete this section if the applicant is a contractor or homeowner claiming exemption from providing workers' compensation insurance. The undersigned swears or affirms that he/she is not required to provide workers' compensation insurance under the provisions of Pennsylvania's Worker's Compensation Law for one of the following reasons, as indicated.

Contractor with no employees. Contractor prohibited by law from employing any individual to perform work pursuant to this building permit unless contractor provides proof of insurance to Municipality.

Homeowner who elects to perform all of the work without contracting or hiring others to assist.

Religious exemption under Workers' Compensation Law

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_

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Commonwealth of Pennsylvania

County of \_\_\_\_\_

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me \_\_\_\_\_ the undersigned officer, personally appeared \_\_\_\_\_, known to me (or satisfactorily proven) to be the person whose name subscribed to the within instrument, and acknowledged that he/she executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

\_\_\_\_\_  
Notary Public

## DIRECTIONS TO THE SITE LOCATION

*Fill out completely*

Name of Owner: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Address of project: \_\_\_\_\_  
\_\_\_\_\_

Directions:

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\*Please note directions should be clear so inspectors can find the address with no difficulties. Use Street names, landmarks, direction of travel, turn off distance, etc...

Use space below if needed to further clarify the site location:

# Residential Building Plans

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## **1. Building Site Plan indicating:**

- a. Location of Proposed and Existing Buildings
- b. Location of Property Lines
- c. Building Setback Dimensions
- d. Location and Depth of Building Water Service Pipe (or Well)
- e. Location and Depth of Building Sewer (or Sewage System for On-Site Facilities)
- f. Location and Depth of Foundation Drainage Facilities (Drain Fields, if Applicable)
- g. Location of Driveway (Distance to Property Lines)
- h. Any buried utilities

## **2. Foundation and Framing Plan (one view as cross sectional from bottom of footings to top of shingles):**

- a. Footings-size, thickness, and depth below grade
- b. Isolated piers - size and thickness
- c. Reinforcement - size and location of rods (if used)
- d. Foundation Wall - size, height of backfill, method of damp proofing, type of mortar and type of reinforcement to be used
- e. Foundation Drains - type and location
- f. Sill Plate/Anchor Bolts - size and location
- g. Basement/Garage Slabs - thickness of concrete and stone base
- h. Floor Joist - size, spacing, span, and type of lumber
- i. Floor Sheathing - thickness and type
- j. Wall Framing - size and spacing
- k. Exterior Wall Covering and Insulation
- l. Corner Bracing
- m. Headers and lintels -size- drawings of design and spans to be used
- n. Interior Finish on Wall and Ceiling
- o. Roof Ventilation
- p. Roof Pitch
- q. Rafters and/or Roof Trusses ( if used, require shop drawings meeting TPI requirements) size, spacing, span, bracing, and collar ties
- r. Roof Sheathing - thickness, type, and edge blocking
- s. Roof Covering
- t. Girders/Beams - size, span, and type
- u. Girder/Beam Support - size, and type
- v. All Stairways - width, rise and run of stairs, headroom, and height of handrail
- w. Guardrails - height and spacing
- x. Crawl Spaces - Height of framing members above exposed earth, vapor barrier, ventilation, and access hole (18"x24" minimum required)
- y. Ceiling Heights
- z. Secondary egress/rescue opening for finished basements

**3. Interior Floor Plans of All Areas Indicating:**

- a. Use or identification of Each Area, i.e.; kitchen, bedroom, etc.
- b. Dimensions of All Areas including Hallways and Doors
- c. Smoke Detectors - Location on Each Floor (including Basement), in bedrooms and interconnection
- d. Bathroom Ventilation
- e. Attic Access (22"x30" minimum required)
- f. Windows - size and type

NOTE: One approved window is required in each sleeping room with a minimum net clear opening of 5.7 square feet with a minimum net clear opening height of 24 inches and a minimum net clear opening width of 20 inches. (Grade floor window may have a minimum net clear opening of 5.0 square feet.)

- g. Fire separation between garage and residence
- h. Glazing - hazardous locations (large picture windows, special glass applications, skylights)

**4. Energy-** a written plan to comply with the energy code.

- a. Generic compliance sheet showing values for windows, doors, skylights, walls, roof, ceiling, etc.
- b. A design print-out from RES-check
- c. Any other code accepted method.

**5. Electrical**

- a. Service size, power company providing power, power company job number
- b. General details, GFI & AFI locations, dedicated circuits
- c. Appliance loads

**6. Mechanical**

- a. Service type (electric, gas, oil?)
- b. General details of distribution system including type, and insulation values.
- c. Appliance loads and efficiencies

**7. Plumbing**

- a. Service type (public or private?)
- b. General details of distribution system including type of piping, and insulation (if required)
- c. Fixtures, appliances and general riser diagrams.

**8. Miscellaneous Requirements**

- a. Fireplace
  - (1) Width of hearth
  - (2) Firebox opening size
  - (3) Distance between firebox opening to combustible trim
  - (4) Lintel
  - (5) Mortar type
- b. Chimney
  - (1) Footing size and thickness
  - (2) Termination above roof
  - (3) Flue lining size and surrounding material
  - (4) Thimble location to combustibles
  - (5) Chimney clearance to combustible framing
  - (6) Fire stopping
  - (7) Mortar type
- c. Wood/Coal Stoves
  - (1) U/L listing information
  - (2) Clearance to walls, ceiling, and combustibles
  - (3) Hearth/foundation structural design information

# Commonwealth Code Inspection Service, Inc.

176 Doe Run Rd.  
Manheim, Pa. 17545

800-732-0043 Phone  
717-664-4953 Fax

## RESIDENTIAL BUILDING INSPECTIONS

### NEW HOME CONSTRUCTION:

1. Footings - Prior to pour. (At time of inspection grade stakes need to be set to indicate Footing thickness.)
2. Foundation- Prior to backfilling walls or framing. (At time of inspection walls are to be parged and damp - proofed, perimeter drain tile with a min 2" stone base and 6" stone cover with a filter membrane material located on the outside of walls are required to be present, sill plate anchors grouted in masonry.) Foundation Inspection to include any masonry walls.
3. Rough In-  
(MECHANICAL) Prior to insulation & wallboard  
(ELECTRICAL) Prior to insulation & wallboard  
(PLUMBING) A: Under-slab - prior to pour  
B: Wall Inspection- prior to insulation & wallboard  
(At time of inspection building drain and water distribution piping are installed. An air test or water test is to be performed on both drainage and water distribution piping by the plumber and witnessed by the inspector.)  
(FRAMING) Prior to insulating and covering walls. (At time of inspection an approved rough in electrical, plumbing and mechanical inspection shall have been conducted. Firestopping shall be checked during this inspection.)  
(ENERGY) Insulation draftstopping and firestopping shall be checked at this inspection.  
(DRYWALL) During installation of drywall.

### **ALTERATIONS MADE BY SUBCONTRACTORS MAY AFFECT THE FRAMING APPROVAL.**

4. Final - Prior to Occupancy. ( At time of inspection all plumbing, electrical and mechanical fixtures and equipment are to be set and operational. All construction work is to be completed. Final grading and seeding as well as required developmental improvements or Conditions listed on permit, if applicable, shall be complete.)

NOTE: Deviations from this Inspection schedule should be discussed with the building Inspector prior to continuing. It should also be noted that repeated Inspections may be billed additionally. Failure to remit additional fees will result in non-issuance of a Certificate of Occupancy and filing of liens

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Other inspections as may be deemed necessary due to the nature of the project. These inspections may include but not limited to, electrical, sprinkler, progress inspections, and reinspections (due to failed inspections). Each project will be invoiced accordingly.